



PLANNING COMMISSION MEETING AGENDA
February 26, 2024
7:00pm

- 1) Call to Order**
 - a) Approval of Agenda

 - b) Approval of Minutes – January 29, 2024

- 2) Public Hearings**
 - a) None

- 3) Business Items**
 - a) **SITE PLAN REVIEW:** Application from David Lau on behalf of Woodland Cove, LLC for a site plan review of a 5,000 sq. ft. commercial building in Woodland Cove on Outlot F, Woodland Cove 3rd Addition; PID# 34-117-24-33-0052; PUD – Planned Unit Development.

- 4) Informational Items**
 - a) Staff Reports

 - b) Council Reports

- 5) Adjournment**
 - *The agenda packet with all background material is located at the back table for viewing by the public.*
 - *Published agenda subject to change without notice.*
 - *Information and materials relating to the above items are available for review at city hall by appointment.*



PLANNING COMMISSION MEETING MINUTES
January 29, 2024

1) Call to Order

Vice Chair Kirkwood called the meeting to order at 7:00 p.m.

In attendance: Commissioners – Vice Chair Michael Kirkwood, Tricia Taylor, Sarah Hussain, Steve Livermore, Heather Charles, Zak Gangestad. Absent: Lucas Rognli, Damian Young; Council Liaison – Mayor Lisa Whgalen; City Staff – Senior City Planner Nickolas Olson and City Clerk Ann Meyerhoff.

a) Oath of Office and Swearing in Planning Commissioners

Mayor Whalen presented the Oath of Office and swore in commissioners Steve Livermore and Zak Gangestad.

b) Approval of Agenda

Item 2c was removed from the agenda.

Motion of by Hussain and seconded by Taylor to approve agenda as amended.

Motion passed 6-0.

c) Elect Chair and Vice Chair for 2024

Charles nominated Michael Kirkwood and Kirkwood nominated Damian Young for Chair. Motion passed 6-0 for Young as Chair.

Hussain nominated Michael Kirkwood for Vice Chair. Motion passed 6-0 for Kirkwood as Vice Chair.

d) Approval of Minutes – September 25, 2023

Motion by Hussain seconded by Gangestad to approve September 25, 2023 Minutes.

Motion passed 6-0.

2) Public Hearings

a) VARIANCE: Application from James & Cynthia Ernst for a variance to reduce the required from yard setback from 50 feet to 38 feet for a detached accessory building at 920 Maple Crest Drive; R-1 – Low Density Single Family Residence Zoning District; PID# 12-117-24-22-0056.

Senior City Planner Olson presented information for overview.

Highlights included:

- The Applicants applied for a building permit to build a detached garage on 920 Maple Crest Drive.
- During plan review, city staff noticed that the location of the proposed garage did not meet the required street side setback and informed the applicants.

- It became clear that this was the only location the Applicants could place the proposed garage and would require a variance due to the presence of existing geothermal wells.
- City staff outlined and explained the variance process and the applicants have put together the necessary documents for the Planning Commission to consider.

Vice Chair Kirkwood opened the Public Hearing at 7:15 p.m.
There was no comment.

Vice Chair Kirkwood closed the public hearing at 7:15 p.m.

Motion by Gangestad, seconded by Livermore to recommend approval for a variance to reduce the required front yard setback from 50 feet to 38 feet for a detached accessory building at 920 Maple Crest Drive subject to conditions 1-5. Motion passed 6-0.

b) CLASS III SUBDIVISION PREMINARY PLAT: Application from Saleem Karmaliani for a 2 lot subdivision of the property located at 3790 County Road 44; R-1 Low density single-family residence zoning district; PID# 26-117-24-31-0010.

Senior City Planner Olson presented information for overview.

Highlights include:

- The applicant purchased the property in May of 2023 with the intent to subdivide it into 2 lots. The property previously had a home on it, but its location was in conflict with a potential subdivision so it was demolished.
- The property is roughly a 2.48 acre site located on Lake Minnetonka off of County Road 44. The property is zoned R-1 Low density single-family residence and is located within the Shoreland overlay district.
- In review of the current Parks, Trails, and Open Space Plan, the Property is not located within an existing or planned park service area.
- The Parks Commission reviewed this request and recommend the City Council accept cash-in-lieu of land in the sum of \$50,000 for the park dedication requirement for the proposed 2 lot subdivision.
- There are no proposed streets with this application. The lots are to be serviced by the existing County Road 44. Hennepin County has been asked about access and would support a single driveway as proposed and did not request additional right-of-way for County Road 44.

Vice Chair Kirkwood open the public hearing at 7:21 p.m.

Sven Gustafson, Stone Wood Builders, 153 Lake Street W, representing Saleem Karmaliani addressed the shared driveway saying each individual lot would have a space to turn around to drive out forward. There will also be a shared maintenance agreement in place.

Vice Chair Kirkwood closed the public hearing at 7:26 p.m.

Motion by Taylor, seconded by Hussain to recommend approval for a 2 lot subdivision of the property located at 3790 County Road 44 subject to conditions 1-12.

Motion passed 6-0.

- c) **VARIANCE: Application from Joseph Cheney for variance to reduce the side yard setback from 15 feet to 10.2 feet to allow for a new single family home at 3790 Enchanted Lane; R-1 – Low Density Single Family Residence Zoning District; PID# 25-117-24-43-0003.**

*Applicant requested item to be pulled from the Agenda

- d) **VARIANCE: Application from Joseph Cheney for variance to reduce the side yard setbacks from 15 feet to 10 feet and 13.8 feet to allow for a new single family home at 3800 Enchanted Lane; R-1 – Low Density Single Family Residence Zoning District; PID# 25-117-24-43-0005.**

Senior Planner Olson presented information for overview.

Highlights included:

- A previous application was reviewed back in August 2023. Variances for relief from the lakeshore, street side, and side yard setbacks were reviewed.
- A recommendation was forwarded to the City Council and ultimately the City Council approved the lakeshore setback at 39.1 feet and street side setback at 26.3, but they denied the side yard setback variance requests.
- The applicant is requesting relief from the side yard setback requirement on the south side of the property. The proposal complies with the lakeshore and street side setback variances.
- Notices were sent out to all property owners within 500 feet of the subject property. Staff has spoken with one neighboring property owner and has received two written comments.

Commissioner Charles asked other properties are in compliance with the 15 foot setbacks. Senior Planner Olson responded that some of the properties were built before the setbacks were put in place so it hard to know.

Joe Cheney, 4823 Twin Lakes, and Paul Otto, 9 Division Street spoke to the commission explaining that they are trying to do what they can with the lot considering the size.

Mayor Whalen asked suggested to just have a variance on just one side. Go 15 feet on the side next to the existing property to the north.

Vice Chair Kirkwood opened the public hearing at 7:48 p.m.

Nancy Rigelhof, 3780 Enchanted Lane.

- Very concerned with drainage and having a 15 foot set back would allow for better drainage.
- Worried about setting a precedence for other properties.

- Concerned that if property was sold the variance would already be in place and someone could build something different than what is proposed.

Alyce Vogel, 3770 Enchanted Lane.

- No guarantee that if the other lot was sold, who is to say that they are going to follow with 15 foot setbacks since next to is an 8 foot setback setting a precedence.

Linda McBride, 3750 Enchanted Lane.

- Concerned about setting a precedence.
- The houses are too big for the little lots and need to build appropriate for the lots.
- They will stand out from the rest and change the character of the neighborhood.

Vice Chair Kirkwood closed the public hearing at 8:08 p.m.

Commission members shared that they were struggling with this because of what happened the last time this was in front of them.

Mayor Whalen shared what happened on the last application with the Council. They were not comfortable with side setbacks because of the size of proposed house so they gave them front and lake setbacks.

The house that is being proposed is modest. The other application was because of the size of the house. To deny you have to have reasonable findings per state statute.

Motion by Hussain, seconded by Charles to recommend approval as discussed for a variance at 3800 Enchanted Lane.

Motion passed 6-0.

3) Informational Items

a) Staff Reports

- Recap of the September 25th meeting.

b) Council Reports

- Tree Lighting is already on the calendar for 2024.
- No reconstruction of street for 2024 just mill and overlays.
- Completed wellness center in the police department. Worked with Lifetime.
- State of the City Address, Trista Day and Bus Tour

4) Adjournment

Motion by Vice Chair Kirkwood, seconded by Livermore to adjourn at 8:44 p.m.

Respectfully Submitted,

Ann Meyerhoff
City Clerk



PLANNING COMMISSION ITEM 3A

Subject: SITE PLAN REVIEW: Application from David Lau on behalf of Woodland Cove, LLC for a site plan review of a 5,000 sq. ft. commercial building in Woodland Cove.

Prepared By: Nickolas Olson, Senior City Planner

Meeting Date: February 26, 2024

Overview: Application from David Lau on behalf of Woodland Cove, LLC (the “Applicant”) for the construction of a 5,000 sq. ft. commercial building on Outlot F, Woodland Cove 3rd Addition; PUD – Planned Unit Development (the “Property”).

Background: The Woodland Cove development proposal started back in 2009 with a distinctive approach of collaboration. This process was initiated with a discussion about the public values which were identified by the Planning Commission, Parks Commission, and the City Council. The development team received the visioning statement from the policymakers. They then engaged a citizen’s advisory committee to assist them in the design of the plat. Extensive public meetings of various types were held in the planning of this development.

The approved preliminary plat and Master Development Agreement (the “MDA”) for the Woodland Cove setup a detailed framework that set the core values and expectations for future development. The MDA confirms the terms and conditions of the City Approvals and the plans for the development, the required public and private improvements as part of the first and subsequent phases of the development, the standards for the timing and financing of required improvements and terms of payment of development fees. Final plats for each phase of Woodland Cove shall be consistent with City Code, the plans, and the City approvals, subject to the flexibilities allowed in the Core Values in Section 4.4 of the MDA. The final plat for each phase shall also be accompanied by a subdivision agreement that confirms the required public and private improvements, responsibilities of the City and the Applicant, and the required development fees for each phase.

Discussion: City Code Section 505.05 Subd. 6 requires site plan review by the Planning Commission and City Council for all new uses or major changes to existing uses. A major change is defined as any modification which increases the size of the building(s) on site or the use by more than twenty-five percent. In addition to being required by City Code, the MDA also requires a site plan review for the commercial uses within Woodland Cove.

Mission Statement:

The City of Minnetrista will deliver quality services in a cost effective and innovative manner and provide opportunities for a high quality of life while protecting natural resources and maintaining a rural character.

The Planning Commission shall review the proposed site plan on the basis of the information and documentation submitted by the Applicant and any other information available to it to determine whether it is consistent with the requirements of the City Code, including the applicable performance standards and the purpose of the zoning district in which the property is located. Following the review, the Planning Commission shall recommend to the City Council that the site plan be approved, approved with conditions or denied.

Lot area, depth, width, coverage, setbacks, and height standards. Per the Master Development Agreement for Woodland Cove, the following lot standards apply:

Multi-Family/Commercial – Lot Standards					
	Building to Right of Way	Building to Private Back of Curb	Building to Building	Building to PUD Boundary	Height
Condo	10	10	25	30	55
Commercial	0	5	15	30	35

The site plan conforms to the required building setbacks and the proposed structure does not exceed the allowable building height. Lot coverage in Woodland Cove is reviewed on a lot by lot basis, with a development wide maximum of 39% per the Master Development Agreement. The proposed lot coverage as shown on the site plan is 71% which, when considered with the additional open space found elsewhere, is consistent with the overall goals for the development.

Off-street parking. City Code requires a certain number of parking spaces depending on use. Based on that use, the number of spaces is related to either the square footage of the building associated with the use or another unit of measure. In review of City Code, retail stores of 2,000 sq. ft. and all other commercial which require 1 parking space per 150 sq. ft. and restaurants require 1 parking space per 75 sq. ft. The proposed building includes 2,065 sq. ft. of restaurant and 2,835 sq. ft. of retail space, which results in 49 parking (2 accessible) spaces. Therefore, the site plan is consistent with the intent of City Code with regards to the required number of parking spaces.

Traffic. The Applicant hired Transportation Collaborative & Consultants, LLC (TC2) to complete a traffic study for the proposed development. This is the same group that worked with Mackenthun’s on their development. The traffic study was reviewed by the City’s engineer consultant WSB & Associates. When TC2 prepared the traffic study for Mackenthun’s, it considered buildout of Outlot F, so the study prepared with this application is comparative to alternative land uses. The Highway 7 and Kings Point Road / CR 11 intersection should continue to be monitored as the Woodland Cove and proposed commercial developments are constructed to determine if changes should occur in

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collaboration with MnDOT. MnDOT has indicated they are planning to further study the Highway 7 corridor in the future to address long-term safety and operational concerns.

Conclusion: The Planning Commission shall review the proposed site plan on the basis of the information and documentation submitted by the Applicant and any other information available to it. The Planning Commission shall determine whether the site plan is consistent with the requirements of city code and the MDA. Following the review, the Planning Commission shall recommend to the City Council that the site plan be approved, approved with conditions or denied. Along with making a recommendation, findings of fact should be made which support the recommendation. Possible findings of fact are as follows:

1. The proposed site plan substantially conforms with all applicable provisions of city code;
2. The proposed site plan conforms with the Comprehensive Plan; and
3. The proposed site plan will not be detrimental to the health, safety, or welfare of the community.

Recommended Action: Motion to recommend the City Council approve the requested site plan based on the findings of fact outlined in the staff report subject to the following conditions:

1. The Applicant shall comply with all comments and recommendations provided in the City Engineer's review memorandum dated February 21, 2024 and item #1 under Layout and Traffic shall be addressed prior to presentation to City Council;
2. The Applicant shall obtain all necessary permits and approvals from the City and other applicable entities with jurisdiction prior to any construction and within one year of the date of approval or the site plan approval will become void and expire; and
3. The Applicant is responsible for all fees incurred by the City in review of this application.

Attachments:

1. Location Map
2. Applicant Narrative
3. Development Plans
4. Traffic Study from TC2
5. City Engineer Review Memorandum dated February 21, 2024

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Woodland Cove Outlot F



1 in = 92 Ft

-  City Boundary
-  Address Labels
-  Parcels



February 23, 2024
Map Powered By Datafi



Woodland Cove Outlot F Project Narrative

David Lau, on behalf of Woodland Cove LLC, requests site plan review and approval for a 5,000 sf building and associated site improvements to be located on Outlot F, Woodland Cove 3rd Addition. Associated with the application is the platting of the outlot into a buildable lot. The new legal description will be Lot 1, Block 1, Woodland Cove 12th Addition.

The project was reviewed on a preliminary basis in August of 2023. The consensus of the Planning Commission was that the plan was viable.

The developer's proposal, which is consistent with the previously reviewed plan, seeks to play a part in creating a central hub for residents in Woodland Cove and Minnetrista in line with Woodland Cove developer's visions of a safe and thriving community. With a site design sensitive to local context and traffic, and a building design inspired by an inviting 'old town' feel akin to recent developments in North Loop, Edina, and Wayzata, this project seeks to advance both livability and business needs with minimal impact on traffic and safety, as many continue to move into the area from more densely developed areas but are missing nearby amenities.

The proposed building is designed to have the feel and scale of a neighborhood-focused amenity. The colors and materials of the building give it a traditional feel with some modern touches – warm golden brick, stone, vibrant stucco colors and accented with black window frames and lighting. The design is carried around all four sides of the building to provide a nice aesthetic from all viewpoints. The building will be anchored with a quick-serve restaurant and drive-thru, along with some adjacent retail businesses to serve the needs of the community.

The site is fronted on three streets: Kings Point Road to the West, Woodland Cove Boulevard to the north and Aster Lane to the east. To the south is an open space that includes a stormwater management facility. The site is situated between residential properties to the north and east and a large retail development (Mackenthun's) to the west. The site was planned for residential development in the original PUD but appears well suited to a small-scale retail development that will serve the walk/bikeable neighborhood as well as the greater community. See memo from Transportation Collaborative on trip generation and visibility at site access.

A total of 47 vehicle parking spaces and racks for 8 bikes are provided. The number of parking stalls meets the city's off-street parking requirements for the proposed restaurant and retail uses. The site is accessed from two locations; Aster Lane opposite Huckleberry Drive, and Kings Point Road at the existing median break aligned with the entrance to Mackenthun's. Sidewalk connections are proposed in the northwest corner of the site to the existing pedestrian ramp at Kings Point Road and in the northeast corner of the site to the pedestrian ramp in the southwest corner of Woodland Cove Boulevard and Aster Lane. A crossing of Aster Lane is proposed opposite the pedestrian ramp in the northeast corner of Aster Lane and Huckleberry Drive. The bike racks are proposed near this crossing as a convenience to area residents. The landscaping around bike racks at Aster entrance serves as a gateway to site. While screening between commercial and residential uses is provided using berm and planting, a sense of connectivity to the neighborhood is provided through mix of canopy trees, evergreen trees, and shrub beds.

The west end of the building is intended for a quick-serve restaurant with a drive-up window. The window is accessed by a drive lane that wraps around the building, providing stacking for up to a dozen vehicles. This drive aisle also provides access to the trash enclosure in the northeast corner of the site. The trash enclosure will be built with materials that complement the building. It is screened year-round by berming and evergreen trees.

Landscape foundations using shrubs, native grasses and perennials around the building are added to enhance aesthetic of the building as well as creating traditional feel.

The sidewalk on the south side of the building is generous enough to provide gathering and dining space for the community. Access to the seating area is controlled with an ornamental fence and a raised crossing/speed hump where the walk crosses the drive-thru lane. Access from the designated Americans with Disabilities Act (ADA) parking stalls is provided by a marked cross walk near the middle of the building. All sidewalks and crossings are designed in conformance with the ADA requirements.

Along Kings Point Road the landscape utilizes native prairie and planting beds mimicking cohesively with the approved Mackenthun's landscape.

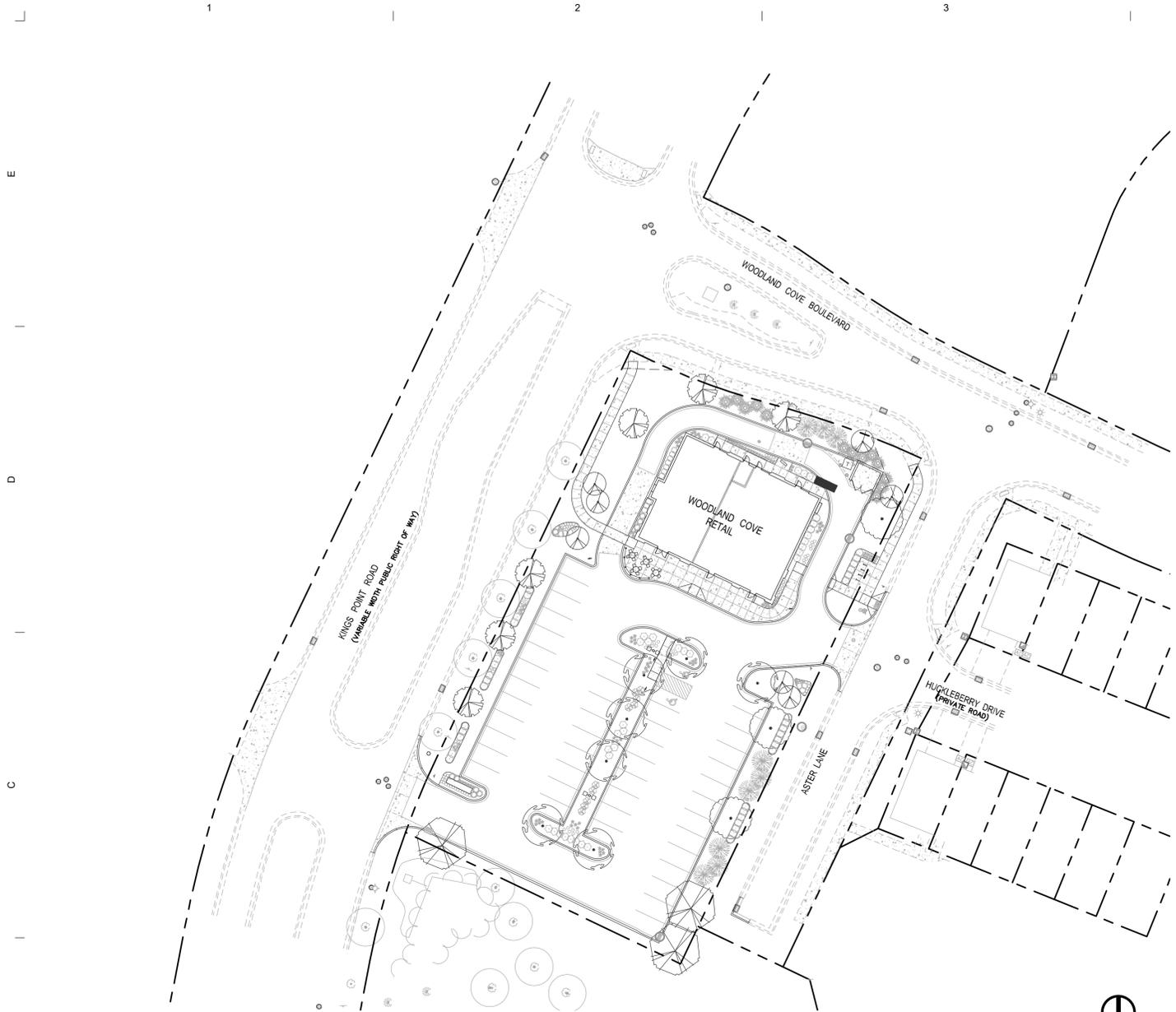
The site was designed with a 12' wide landscaped island through the middle of the site. The landscape island installed with layers of trees, shrubs, grasses, and perennials help breaking large impervious area into a smaller scale parking lot. Canopy trees are added to the island providing shade to the pavement and thus reducing urban heat island. The parking areas are setback 15' from the property lines. The driveway on the south side of the site, adjacent to the open space, is five feet from the property line, which brings it into alignment with the existing median. The drive-up lane is 10.2-14.1' from the property line. The impact of headlights is mitigated by berming and landscaping.

The proposed landscaping is designed to not only complement the building and existing streetscape but also create livable connectivity of large commercial and residential. The plant pallet selected from the approved PUD materials list and the approved Mackenthun's landscape in consideration of native and drought tolerant plants.

The building will be served by existing sanitary sewer and water stubs extended into the site from the intersection of Huckleberry Drive and Aster Lane. The 8" sanitary sewer will be reduced to 6" and extended to the east side of the building. The water main will be reduced to a 4" line and extended to the north side of the building. A 4" line is oversized and will be reduced prior to the meter but it will preserve the option to provide fire suppression should that become desirable in the future.

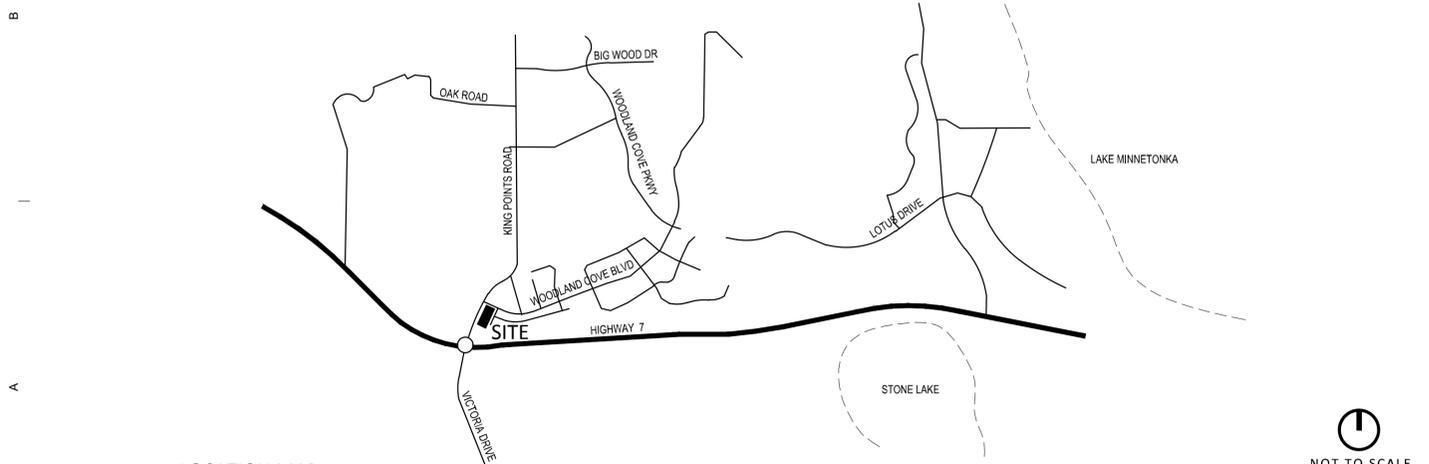
The regional stormwater management facilities were designed for up to 80% of this site to be covered by impervious surfaces. The proposed development coverage is 71%. Therefore, on site treatment is not required to meet city, watershed, or state stormwater management requirements. The northern area of the site will drain to the existing storm sewer stub south of Huckleberry Drive. This stub is too shallow to serve the south end of the site making it necessary to make a second connection to the catchbasin manhole at the terminus of Aster Lane.

We believe that the proposed project is well suited for this location and will enhance the overall neighborhood, and look forward to presenting it to the Planning Commission and City Council for land use review and approval.



VICINITY MAP

NOT TO SCALE



LOCATION MAP

NOT TO SCALE

WOODLAND COVE OUTLOT F MINNETRISTA, MINNESOTA

SITE PLAN REVIEW/ PRELIMINARY PLAT

JANUARY 25, 2024

REVISED FEBRUARY 22, 2024

PROJECT CONTACTS

DEVELOPER	DAVID LAU, AIA 2640 SETTER CIR MOUND MN 55364	DAVID LAU, AIA T (612) 447-0411
ARCHITECT	ARCHITECTURAL CONSORTIUM 1600 WEST LAKE STREET, SUITE 127 MINNEAPOLIS, MN 55408	BRETT LOFTENSNES T (612) 438-0735
CIVIL ENGINEER	ELAN DESIGN LAB, INC. 301 4TH AVENUE S SUITE 1006 MINNEAPOLIS, MN 55415	STEVE JOHNSTON, PE T (612) 260-7982
LANDSCAPE ARCHITECT	ELAN DESIGN LAB, INC. 301 4TH AVENUE S SUITE 1006 MINNEAPOLIS, MN 55415	PILAR SARATHONG, RLA T (612) 260-7982
LAND SURVEYOR	EGAN, FIELD & NOWAK, INC. 475 OLD HIGHWAY 8 NW, SUITE 200 NEW BRIGHTON, MN 55112	ERIC ROESER, LS T (612) 466-3300
CITY PLANNER	CITY OF MINNETRISTA 7701 CO RD 110 W MINNETRISTA, MN 55364	NICK OLSON T (952) 241-2524
CITY ENGINEER	CITY OF MINNETRISTA 7701 CO RD 110 W MINNETRISTA, MN 55364	ALYSON FAUSKE T (612) 263-1736

SHEET INDEX

C-000	COVER SHEET
C-001	TOPOGRAPHICAL SURVEY
C-002	PRELIMINARY PLAT
A1.1	FLOOR PLAN
A2.1	EXTERIOR ELEVATIONS
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C-101	SITE PLAN
C-201	GRADING PLAN
C-202	SWPPP
C-203	EROSION & SEDIMENT CONTROL PLAN
C-301	UTILITY PLAN
C-501	DETAILS
C-502	DETAILS
C-503	DETAILS
L-101	LANDSCAPE PLAN
L-501	LANDSCAPE DETAILS
E-101	PHOTOMETRIC PLAN

OWNER

**WOODLAND
COVE LLC**

2 CARLSON PARKWAY
SUITE 230
PLYMOUTH MN 55447

DEVELOPER

DAVID LAU
4268 COTTAGEWOOD CT
MINNETRISTA, MN 55331
612-441-0411

ARCHITECT

**ARCHITECTURAL
CONSORTIUM L.L.C.**

901 NORTH THIRD STREET,
SUITE 220
MINNEAPOLIS, MN 55401
612-436-4030



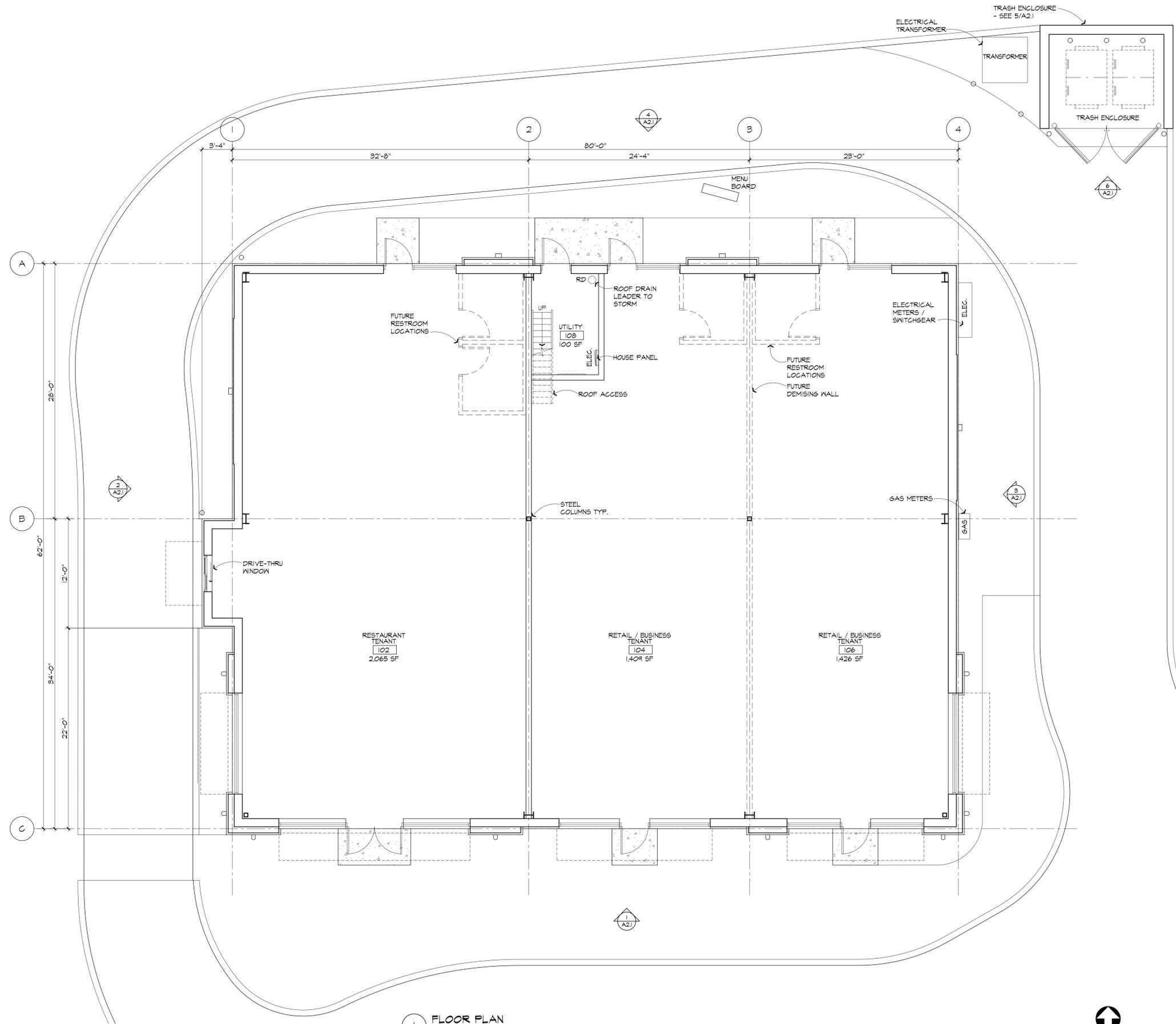
SHEET

COVER SHEET

C-000

PROJECT NO.

ARC23019



Mark	Revision / Issue	Date
	CITY SUBMITTAL	01-26-24

PRELIMINARY
NOT FOR CONSTRUCTION

**WOODLAND COVE
OUTLOT F**

MINNETRISTA, MN

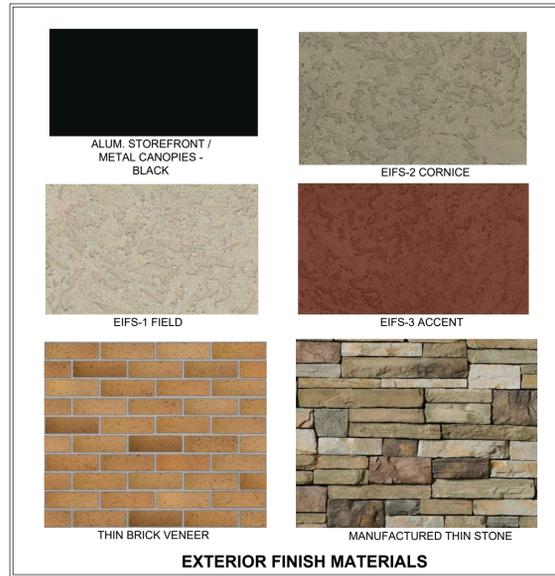
FLOOR PLAN

PROJECT NUMBER:	23-1073-01
ISSUED DATE:	01-26-24
DRAWN BY:	BL
CHECKED BY:	KA

A1.1

1 FLOOR PLAN

3/16" = 1'-0" NORTH



1 SOUTH ELEVATION 3/16" = 1'-0"



2 WEST ELEVATION 3/16" = 1'-0"



3 EAST ELEVATION 3/16" = 1'-0"

Mark	Revision / Issue	Date
	CITY SUBMITTAL	01-26-24

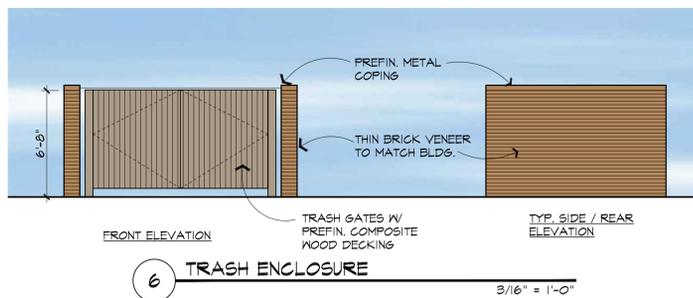
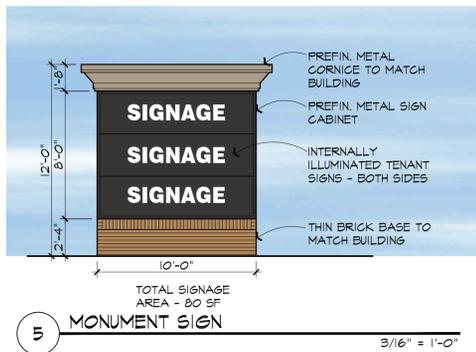
PRELIMINARY
NOT FOR CONSTRUCTION

**WOODLAND COVE
 OUTLOT F**
 MINNETRISTA, MN

**EXTERIOR
 ELEVATIONS**

PROJECT NUMBER:	23-1073-01
ISSUED DATE:	01-26-24
DRAWN BY:	BL
CHECKED BY:	KA

A2.1



4 NORTH ELEVATION 3/16" = 1'-0"

GOPHER STATE ONE CALL NOTE:

List of utilities notified per Gopher State One Call Ticket No. 233531052.
 CITY OF MINNETRISTA - CMNSA01
 FRONTIER COMMUNICATIONS - FRTR001
 METROPOLITAN COUNCIL (MCES) - METWAS01
 CENTER POINT ENERGY - MINGAS05
 MEDIA/COM - MNCDBL01
 XCEL ENERGY - XCEL005
 ZAYO BANDWIDTH - ZAY004

**CERTIFICATE OF SURVEY FOR:
 Elan Design Lab**

LEGAL DESCRIPTION:

Outlot F, WOODLAND COVE 3RD ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota.

GENERAL SURVEY NOTES:

- The orientation of this bearing system is based on the Hennepin County coordinate grid (NAD 83-1986 Adj.).
- Title work was not furnished to Egan, Field & Nowak, Inc. for the preparation of this survey to verify ownership, the legal description, or the existence of any easements or encumbrances.
- The address of the property described hereon is not assigned, Minnetrista, MN 55331.
- The property described hereon lies within Flood Zone X (Areas determined to be outside the 0.2% annual chance floodplain) per Federal Insurance Rate Map No. 27053C 0290 F, dated November 04, 2016.
- The total area of the property described hereon is 47,418 square feet or 1.08857 acres.
- The contours depicted hereon are per elevation data collected while conducting the fieldwork. The contour interval is 1 foot.
 SITE BENCHMARK: Top nut of hydrant at easterly property line.
 Elevation = 1049.19 feet. (Project Datum)*
 *Established project elevations based on project benchmarks provided by James R. Hill.
- No zoning report or letter was received by the surveyor.
- Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket No. 233531052. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.

CERTIFICATION:

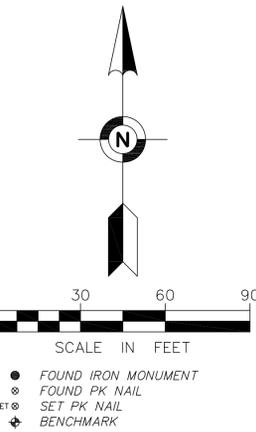
I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date of survey: December 22, 2023.
 Date of signature: December 27, 2023.

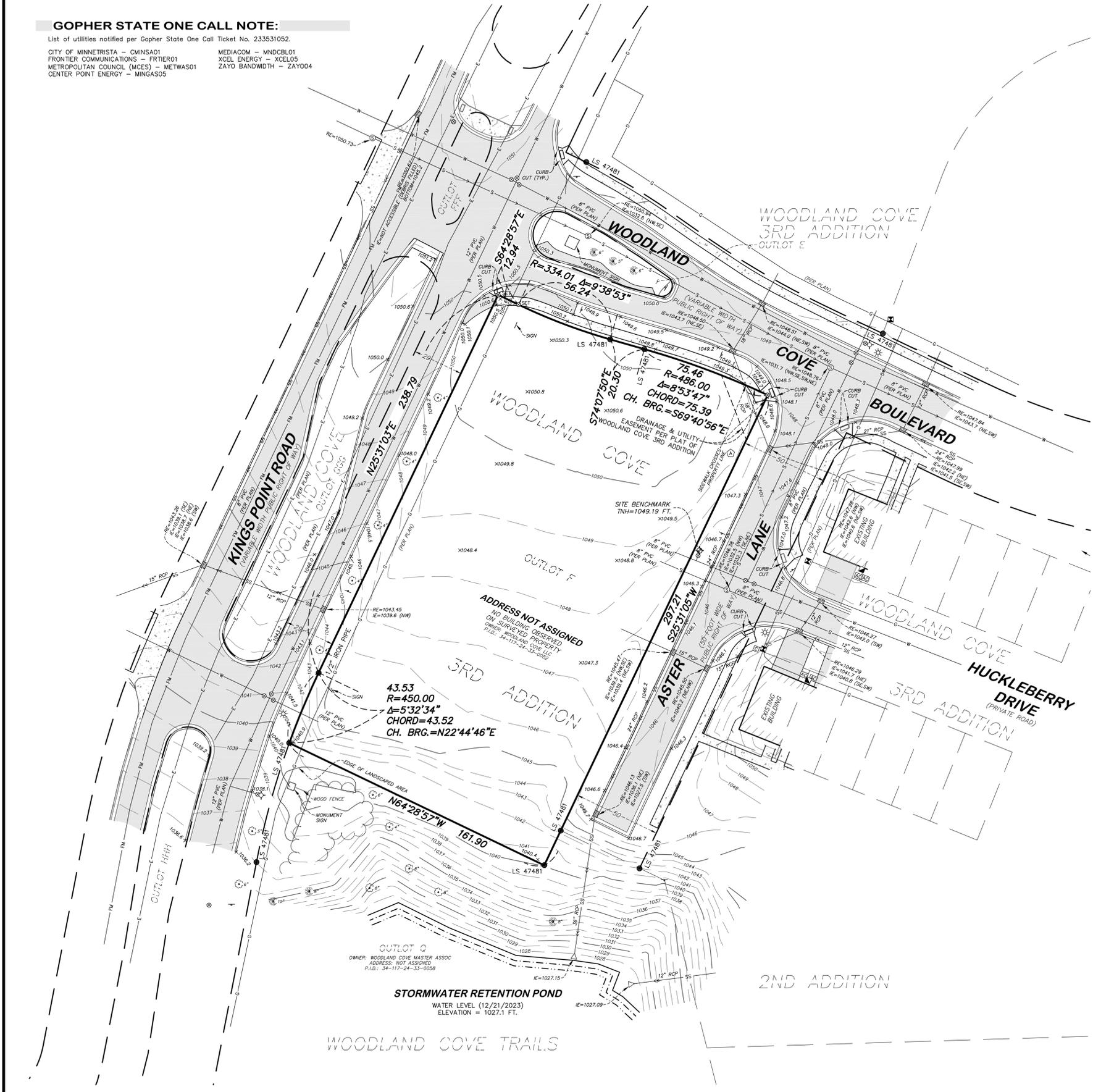
Eric A. Roeser
 Eric A. Roeser
 Minnesota License No. 47476
 eroeser@efnsurvey.com

LEGEND:

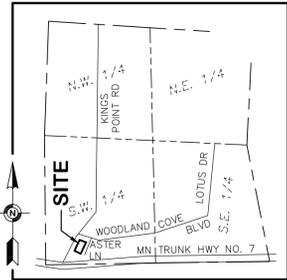
- ⊙ SANITARY MANHOLE
- ⊙ STORM MANHOLE
- ⊙ CATCH BASIN
- ▷ FLARED END SECTION
- ⊙ GATE VALVE
- ⊙ HYDRANT
- ⊙ AIR CONDITIONER
- ⊙ ELECTRIC BOX
- ⊙ HANDHOLE
- ⊙ LIGHT
- ⊙ GAS METER
- ⊙ SIGN
- WOOD FENCE
- SANITARY SEWER (FORCEMAIN)
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- UNDERGROUND ELECTRIC
- UNDERGROUND GAS
- SPOT ELEVATION
- EXISTING CONTOUR LINE
- TREE
- ▨ BITUMINOUS SURFACE
- ▨ CONCRETE SURFACE



- FOUND IRON MONUMENT
- ⊙ FOUND PK NAIL
- ⊙ SET PK NAIL
- ⊙ BENCHMARK



SECTION 34, T 117 N, R 24 W



VICINITY MAP
 NO SCALE

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS		
		TV	NO.	DATE	DESCRIPTION
DRAWN BY: DL					
CHECKED BY: EAR					

CERTIFICATE OF SURVEY

SURVEY FOR:
 Elan Design Lab

PROPERTY ADDRESS:
 Unassigned Address
 Minnetrista, Minnesota 55331



Egan, Field & Nowak, Inc.
 land surveyors since 1872
 475 Old Highway 8 NW, Suite 200
 New Brighton, Minnesota 55112
 PHONE: (612) 466-3300
 WWW.EFNSURVEY.COM
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WOODLAND COVE 12TH ADDITION

C.R. DOC. NO. _____

KNOW ALL BY THESE PRESENTS: That ENTITY NAME, LLC, a STATE limited liability company, owner of the following described property:

Outlot F, WOODLAND COVE 3RD ADDITION

Has caused the same to be surveyed and platted as WOODLAND COVE 12TH ADDITION, and does hereby dedicate to the public for public use the drainage and utility easements created by this plat.

In witness whereof said ENTITY NAME, a STATE limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 20____.

Signed: ENTITY NAME, LLC, a STATE limited liability company,

BY _____, TITLE of ENTITY NAME, LLC, a STATE limited liability company.

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me on this _____ day of _____, 20____ by SIGNER, TITLE of ENTITY, LLC, a STATE limited liability company.

Signature of Notary _____

Printed Name of Notary _____

Notary Public _____ County, _____

My commission expires _____

I, Eric A. Roeser do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

Eric A. Roeser, Licensed Land Surveyor
Minnesota License No. 47476

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me on this _____ day of _____, 20____, by Eric A. Roeser, a Licensed Land Surveyor.

Signature of Notary _____

Printed Name of Notary _____

Notary Public _____ County, _____

My commission expires _____

CITY COUNCIL, CITY OF MINNETRISTA, MINNESOTA

This plat of WOODLAND COVE 12TH ADDITION, was approved and accepted by the City Council of the City of Minnetrista, Minnesota at a regular meeting thereof held

this _____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Minnetrista, Minnesota

By _____, Mayor By _____, Clerk

RESIDENT AND REAL ESTATE SERVICES

Hennepin County, Minnesota

I hereby certify that taxes payable in 20____ and prior years have been paid for land described on this plat, dated this _____ day of _____, 20____.

Daniel Rogan, County Auditor By _____, Deputy

SURVEY DIVISION

Hennepin County, Minnesota

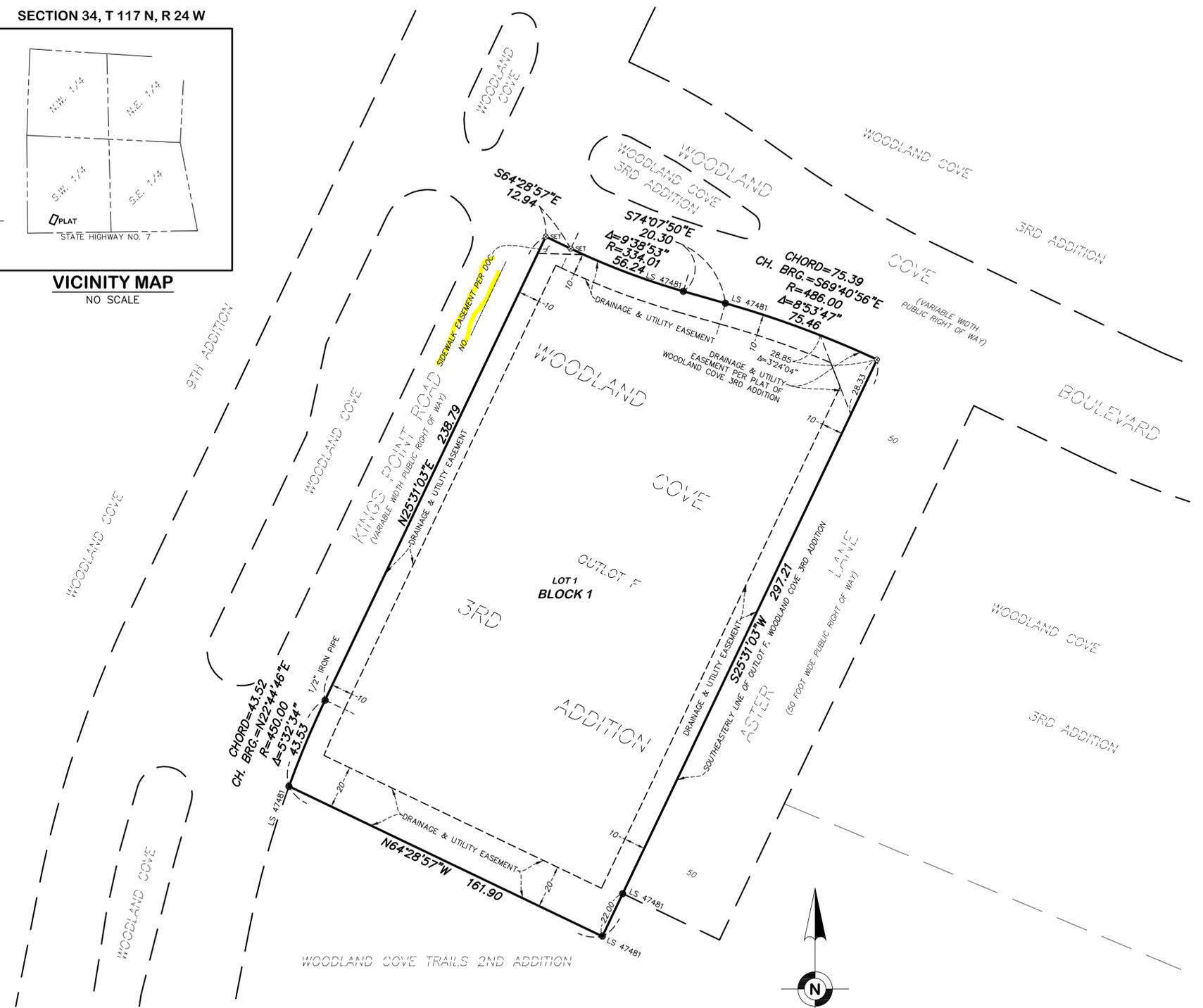
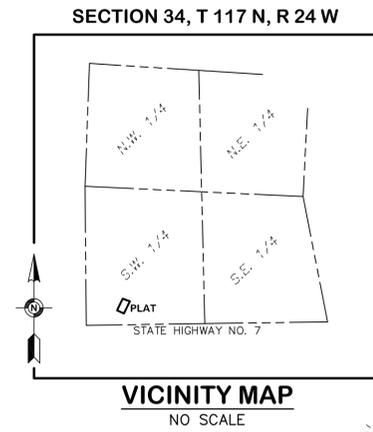
Pursuant to MN. STAT. Sec. 383B.565 (1969), this plat has been approved this _____ day of _____, 20____.

Chris F. Mavis, County Surveyor By _____

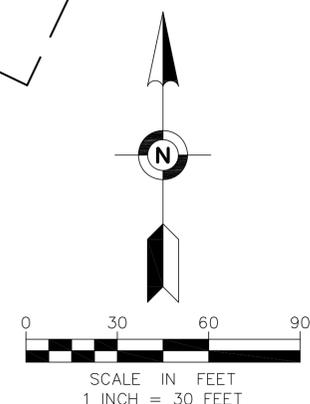
COUNTY RECORDER

Hennepin County, Minnesota

I hereby certify that the within plat of WOODLAND COVE 12TH ADDITION was recorded in this office this _____ day of _____, 20____, at o'clock____M.



- DENOTES FOUND MONUMENT AS NOTED
- ⊗ DENOTES FOUND PK NAIL
- ⊙ SET DENOTES SET PK NAIL



THE SOUTHEASTERLY LINE OF OUTLOT F, WOODLAND COVE 3RD ADDITION IS ASSUMED TO BEAR S25°31'03\"/>



Project Name / Location

Project Name	Woodland Cove
Project Address	0000 Kings Point Road, Minnetrista, MN
Property ID	3411724330052
Latitude / Longitude	44.89210, -93.70362
Project Type	Retail Development

Contacts

Owner	Contractor (Operator)	Preparer
Woodland Cove LLC	TBD	Steve Johnston
		Élan Design Lab, Inc.
		310 4 th Ave S
		Suite 1006
		Minneapolis, MN 55415
		612.260.7979
		sjohnston@elanlab.com
		SWPPP Design Certification Expires 2025

General SWPPP Responsibilities

The Contractor (Operator) shall provide a knowledgeable and experienced person(s) to oversee the implementation of the SWPPP and the installation. Inspection and maintenance of the erosion and sediment control BMP's before and during construction. Training must be in conformance with the NPDES Construction Permit requirements. Training documentation must remain on-site with the SWPPP and the trained person must be available on-site within 72 hours.

Both the Owner and Contractor (Operator) shall be responsible for the proper termination and/or transfer of the permit.

The Owner will be responsible for the long-term operation and maintenance of the permanent storm water management system(s).

Unless specifically stated the engineer shall have no responsibility for any SWPPP activities during or after construction.

Project Description

The 1.09 site is zoned is located within the Woodland Cove Planned Development. The proposed project consists of a 5,000 square foot retail building and associated surface parking. Stormwater management is provided by a regional system..

Soils

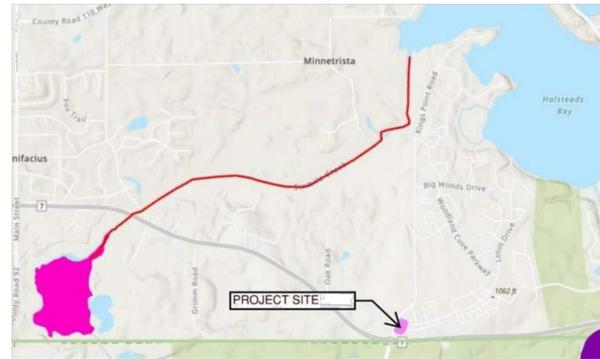
The site has been mass graded as part of the overall development. The USDA-NCRS mapping indicates that pre-mass grading two primary soils were present, Cordova loam and Angus-Kilkenny complex. Cordova consists of 13 inches of loam underlain by clay loam and loam. Angus-Kilkenny consists of 0-8 inches of loam underlain by clay loam and loam. Some components of Angus-Kilkenny may be classified as Hydrologic Soil Group B but the overwhelming majority of the complex is classified as HSG C.

Receiving Waters

The site is in the Minnehaha Creek Watershed District, which has already approved a regional system for managing stormwater. This portion of the development flows northwest to Sixmile Creek which is an impaired water based on excess nutrients. There are various wetlands within a mile of the site. Stone Lake is slightly over one mile to the east and Halsteads Bay of Lake Minnetonka is just over one mile to the northeast.

Waterbody ID No.	Name of Water Body	Type	Special Water	Impaired Water
07010206-551	Sixmile Creek	Stream	No	yes

Map of Surface and Impaired Waters



Project Plans

The following plan sheets are hereby incorporated into this SWPPP

Sheet Number	Description	Date
C201	Grading, Drainage and Erosion & Sediment Control Plan	01-25-2024
C203	Erosion and Sediment Control Plan	01-25-2024
C301	Utility Plan	01-25-2024
C501-C503	Details	01-25-2024

Stormwater Related Reviews and Permits

Agency	Type of Permit or Review	Status
Minnehaha Creek Watershed District	Erosion Control Permit	Pending
City of Minnetrista	Site Plan Review, Building Permit	Pending
MPCA	Construction Stormwater	To be acquired by Contractor.

Stormwater Management System Overview

Stormwater from this site is managed by a regional system. The regional system planned on 80% impervious cover on this site. The plan proposes approximately 70% impervious.

Erosion Prevention Measures - General

The Contractor (Operator) is responsible for all erosion prevention measures for the project including but are not limited to the following:

- The Contractor (Operator) shall plan and implement appropriate construction practice and construction phasing to minimize erosion and retain vegetation whenever possible
- All areas not to be disturbed shall be delineated with flags, stakes, signs, or other means necessary to protect these areas before construction begins on the site.
- All drainage ditches and/or swales shall have temporary or permanent stabilization within 24 hours of connecting to a surface water or 24 hours after construction activity in the ditch/swale has temporarily or permanently ceased.
- All pipe outlets shall have temporary or permanent energy dissipation within 24 hours of connecting to a surface water.
- All exposed soils shall be stabilized as soon as possible to limit soil erosion. In no case shall unworked areas, including stockpiles, have exposed soils for more than 14 days without providing temporary or permanent stabilization. (7 days for projects with a receiving water that is impaired or special)

Sediment Control Measures and Timing - General

The Operator (Contractor) is responsible for all sediment control measures for the project. Sediment control measures include but are not limited to the following:

- Sediment control measures shall be established on all down gradient perimeters before any up-gradient land disturbing activities begin. These measures shall remain in place until final stabilization has been established.
- On slopes with 3:1 or steeper grades there shall be no unbroken slope length greater than 75 feet.
- All storm drain inlets and culvert inlets shall be protected by an appropriate BMP during construction until all sources with potential for discharging to the inlet has been stabilized. Inlet and culvert protection shall conform to the MnDOT Specifications 2573 and 3891.
- Stockpiles shall be provided with an effective sediment perimeter control and shall not be placed in any type of surface water or drainage way.
- Vehicle tracking shall be minimized with effective BMP's. Where the BMP's fail to prevent sediment from tracking onto streets the Contractor shall conduct street sweeping to remove all tracked sediment.
- The Operator is responsible for identifying the need for temporary sediment basins based on actual field conditions to protect downstream resources. Temporary sediment basins shall be constructed before up gradient vegetation is disturbed and maintained until the risk of damage to downstream resources is mitigated by other means.

Dewatering and Basin Draining Activities - General

The Operator is responsible for adhering to all dewatering and surface drainage regulations, including but not limited to the following:

- Whenever possible water from dewatering activities shall discharge to a temporary and/or permanent sediment basin.
- If water cannot be discharged to a sedimentation basin, it shall be treated with other appropriate BMP's, to effectively remove sediment.
- All discharge points shall be protected from erosion and scour.
- Discharge water shall be dispersed over an effective energy dissipation measure.
- All water from dewatering shall be discharged in a manner that does not cause nuisance conditions, erosion, or inundation of wetlands. Water shall not be discharged to adjacent residential properties. It must be discharged to the public street.

Final Stabilization - General

The Operator is responsible for ensuring final stabilization of the site, including but is not limited to the following:

- All soil disturbing activities outside of the right-of-way have been completed.
- All exposed soils have been uniformly stabilized.
- All drainage ditches, ponds and all storm water conveyance systems have been cleared of sediment and stabilized to preclude erosion.

Temporary Sediment Basin

The Contractor shall limit the amount of the site that is susceptible to erosion at any given time by phasing the work.

Construction Sequencing

Contractor shall comply with the following sequence. The Contractor may adjust the sequence if needed to address their means and methods and unanticipated field conditions.

- Establish perimeter erosion control silt fences, tree protection fences, and rock construction entrance.
- Install inlet protection in existing down stream catchbasins.
- Begin mass grading.
- Begin building construction.
- Install storm sewer, water, sanitary sewer, natural gas, electrical and communication systems.
- Install inlet protection as storm sewer is constructed.
- Install curb and gutter and first lift of pavement.
- Install permanent landscaping.
- Remove erosion and sediment control BMP's.
- Install final lift of pavement.
- Remove any sediment in pipes and structures.
- File NPDES Notice of Termination ("NOT") with MPCA within 30 days of final stabilization.

Inspection and maintenance

All inspections, maintenance, repairs, replacements, and removal are to be considered incidental to the BMP bid items.

The Contractor (Operator) is responsible for completing required inspections maintenance and observation of weather conditions and rainfall amounts to ensure compliance with the permit requirements. The Contractor (Operator) shall observe the construction site once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours.

The Contractor (Operator) shall keep a summary maintenance/construction observation report to be recorded after each site visit/observation. The Contractor (Operator) shall submit a copy of the written inspections monthly to the Owner. Records shall include the following:

- Date and time of inspections
- Name of person conducting inspection
- Findings and recommendations for corrective actions if necessary
- Corrective actions taken
- Date and number of rainfalls greater than 0.5 inches in 24 hours
- Mention of any changes made to the SWPPP
- A site map indicating active construction areas and land disturbing activities.

The Contractor (Operator) must keep the SWPPP, all inspection reports and amendments onsite. The Contractor (Operator) shall designate a specific location to keep the records whenever construction activity is in progress.

All erosion prevention and sedimentation control BMP's must be inspected to ensure integrity and effectiveness. All nonfunctional BMP's must be repaired, replaced, or supplemented with functional BMP's. The Contractor (Operator) must investigate and comply with the following inspection and maintenance requirements:

- All sediment barriers including silt fence, bio-logs, and similar devices must be repaired replaced or supplemented when they become nonfunctional, or the sediment reaches 1/3 of the barrier height. These repairs shall be made within 24 hours of discovery.
- Temporary and permanent sediment basins must be drained, and the sediment removed when the depth of sediment collected in the basin reaches 1/2 the storage volume. Drainage and removal must be completed within 72 hours of discovery.
- Surface waters, including drainage ditches and conveyance systems, must be inspected for evidence of erosion and sediment deposition. The Operator shall remove all deltas and sediment deposited in surface waters, including drainage ways, catch basins, and other drainage systems. The Operator shall re-stabilize the areas where sediment removal results in exposed

soil. Removal and stabilization must take place within 7 days of discovery, unless precluded by legal, regulatory or physical constraints. The Contractor (Operator) is responsible for contacting all local, regional, state and federal authorities and receiving any applicable permits, prior to conducting any work.

- Construction site vehicle exit locations shall be inspected daily for evidence of off-site sediment tracking onto paved surfaces. Tracked sediment must be removed from all paved surfaces within 24 hours of discovery.
- The Contractor (Operator) is responsible for the operation and maintenance of temporary and permanent water quality BMP's. As well as erosion and sediment control BMP's for the duration of the construction work at the site.
- If sediment escapes the construction site, all off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
- All filtration areas must be inspected to ensure that no sediment from ongoing construction activities is reaching the filtration areas and these areas are protected from compaction due to construction equipment driving across the filtration area.
- The Contractor is solely responsible for all costs associated with reconstructing the rain garden when the functionality is compromised by the Contractor's actions or inaction to protect the basin.

Pollution Prevention Management Measures

The Contractor (Operator) shall be responsible for all pollution prevention management measures. The Contractor (Operator) is responsible for informing all visitors and/or personnel on-site of the pollution prevention management measures.

All pollution prevention management measures are to be considered incidental to the overall project bid, unless otherwise noted. Pollution prevention management measures include but are not limited to the following:

- The Contractor (Operator) is responsible for the proper disposal, in compliance with MPCA disposal requirements, of all solid or liquid waste and hazardous materials on-site.
- Concrete trucks shall not be allowed to wash out or discharge surplus concrete or drum wash water on-site, unless done in an engineered leak-proof containment system. The engineered system provided by the Contractor (Operator) must include site drawings for the project file and written assurance that the system will work as designed and leave no discharge of concrete or concrete residue potential to waters of the state during a minimum of a 100-year storm event. A sign must be installed adjacent to each washout system to inform concrete equipment Operators to utilize the proper facilities. The concrete washout containment system and all related items shall be considered incidental to the project bid.
- All nonhazardous waste materials shall be collected and stored in a securely lidded metal dumpster or other approved containment method at the end of each day. Any alternative to a metal dumpster must be submitted in writing for approval by the project engineer. The dumpster shall be emptied as necessary to function as intended for debris collection. No construction garbage or waste material shall be buried on-site.
- A licensed sanitary waste management Contractor shall collect all sanitary waste from the portable units at a rate necessary to maintain designed function.
- All fertilizers shall be stored in a covered shelter. Partially used bags shall be transferred to a sealable bin to reduce the chance of spillage.
- External washing of trucks and other construction vehicles and engine degreasing are prohibited at the construction site. All vehicles on-site shall be monitored for leaks and receive regular prevention maintenance to reduce the chance of leakage. Petroleum products shall be stored in tightly sealed containers. Which are clearly labeled. Spill kits shall be included with all fueling sources and maintenance activities. Secondary containment measures shall be installed and maintained by the Operator.
- Any asphalt substances used on-site shall be applied in accordance with manufacturer's recommendations.
- All paint containers and curing compounds shall be tightly sealed and stored when not required for use. Excess paint and/or curing compounds shall not be discharged into the storm sewer system and shall be properly disposed of according to manufacturer's instruction.
- Materials and equipment necessary for spill clean-up shall be kept in an enclosed trailer or shed on-site. Equipment shall include. But not limited to, brooms, mops, dust pans, rags, gloves, goggles, absorbent (kitty litter) oil absorbent booms and diapers and buckets.
- All spills shall be contained and cleaned up immediately upon discovery. Spills large enough to reach the storm water conveyance system shall be reported to the Minnesota duty officer at 1-800-422-0798.

Quantities

Practice	Detail / Spec.	Unit	Quantity
Construction Entrance	A3/C-502	EACH	1
Silt Fence	A1/C-502	LF	655
Tree Protection Fence	B1/C-502	LF	205
Inlet Protection	A2/CS02	EACH	9
Sod & Landscape		SY	1,675
MnDOT 25-131 Seeding		SY	25
MnDOT 35-221 Seeding		SY	375

Post Construction Operation and Maintenance

Maintenance of the storm water management facilities will be the responsibility of an association and subject to an agreement with the Watershed.

Amendments to the SWPPP

The SWPPP will be amended as needed and/or as required by provisions of the permit. Amendments will be approved by both the Owner and Contractor (Operator) and will be attached to the SWPPP as an additional sheet. The SWPPP and amendments will be kept on site by the Contractor (Operator) whenever construction activity is in progress.

OWNER

WOODLAND COVE LLC

2 CARLSON PARKWAY
SUITE 230
PLYMOUTH MN 55447

DEVELOPER

DAVID LAU
4268 COTTAGEWOOD CT
MINNETRISTA, MN 55331
612-441-0411

ARCHITECT

ARCHITECTURAL CONSORTIUM L.L.C.

901 NORTH THIRD STREET,
SUITE 220
MINNEAPOLIS, MN 55401
612-436-4030

PROJECT

WOODLAND COVE OUTLOT F

MINNETRISTA, MINNESOTA

SHEET INDEX

**SITE PLAN REVIEW/
PRELIMINARY PLAT**
01/25/2024

REVISED 02/22/2024

ISSUE DATE

Elan
DESIGN LAB
CIVIL ENGINEERING | LANDSCAPE ARCHITECTURE
310 4TH AVE SOUTH, SUITE 1006
MINNEAPOLIS, MN 55415
p 612.260.7980
f 612.260.7990 | www.elanlab.com

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Stephane Johnston DATE
REGISTRATION NO. 18914 01/25/2024

SHEET

SWPPP

C-202

PROJECT NO.

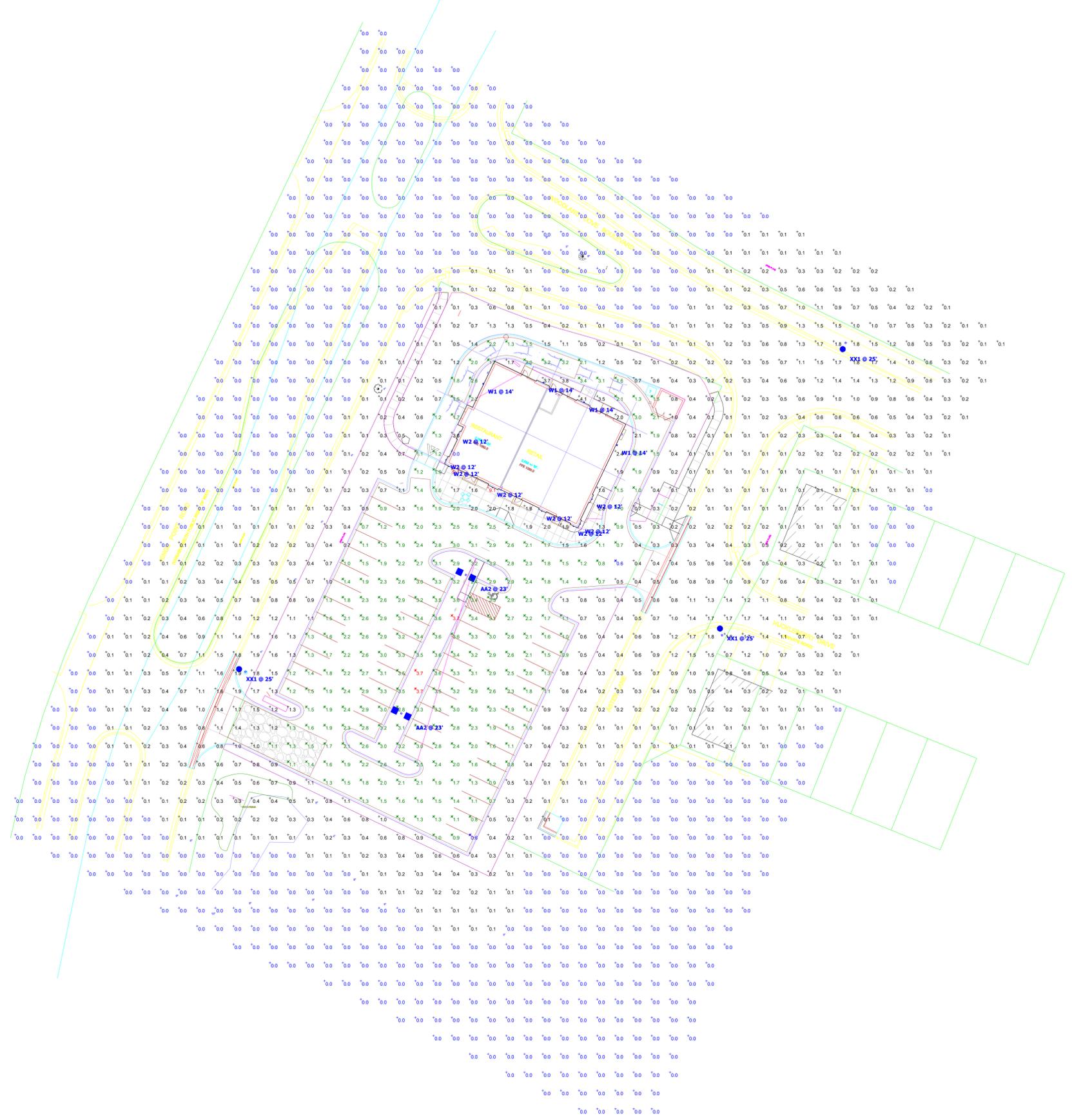
ARC23019

Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	AA1	0	Lithonia Lighting	DSX1 LED P5 40K 80CRI T5M	D-Series Size 1 Area Luminaire P5 Performance Package 4000K CCT 80 CRI Type 5 Medium	1	16892	0.9	138.16
	AA2	2	Lithonia Lighting	DSX1 LED P5 40K 80CRI T5M	D-Series Size 1 Area Luminaire P5 Performance Package 4000K CCT 80 CRI Type 5 Medium	1	16892	0.9	276.32
	W1	4	Lithonia Lighting	WDGE2 LED P4 40K 80CRI T2M	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE 2 MEDIUM OPTIC	1	4267	0.9	46.6589
	W2	8	Lithonia Lighting	OLLWU LED P1 40K 120 DDB	OUTDOOR LED WALL CYLINDER UP & DOWN LIGHT	1	1086	0.9	13.8
	XX1	3	ANP Lighting	LA193TDLT3CPH90W36T340K	LA193 - HEAVY DUTY CAST ALUMINUM LUMINAIRE	1	10373	0.9	90

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Total Area Calculated @ Grade	+	0.5 fc	9.1 fc	0.0 fc	N/A	N/A
Parking and Drives	X	2.2 fc	3.7 fc	0.6 fc	6.2:1	3.7:1

Note

- Davis and Associates, Inc does not assume responsibility for the interpretation of this calculation, or compliance to local or state lighting codes and ordinances.
- All readings/calculations are shown @ grade.
- Fixtures are on a 20' pole 3' base. Wall mounted fixtures are 14' 0" A.F.G.



Plan View
Scale - 1" = 30ft

To: David Lau
Woodland Cove, LLC

From: Matt Pacyna, PE, Principal
Transportation Collaborative & Consultants, LLC

Date: February 9, 2024

Subject: Woodland Cove Outlot F Development Trip Gen Review

INTRODUCTION

TC2 was asked to conduct a trip generation review of the proposed Woodland Cove Outlot F Development in the southeast quadrant of the Kings Point Road and Woodland Cove Boulevard intersection in the City of Minnetrista. The subject site, shown in [Figure 1](#), is across Kings Point Road from the mixed-use Mackenthun's development, which is currently under construction and anticipated to open in 2024. As part of that entitlement process, the *Mackenthun's Development Traffic Study*, dated September 21, 2022, evaluated impacts of the mixed-use Mackenthun's development as well as full build out of the overall Woodland Cove development. Therefore, the purpose of this document is to identify the expected trip generation of the proposed development relative to alternative land uses, as well as qualitatively assess any transportation impacts or considerations for the site. The following study background, assumptions, methodology, and findings are offered for consideration.

Figure 1 Subject Site



PROPOSED DEVELOPMENT

The proposed development is planned as a 5,000 square foot commercial building. Specific tenants have not been finalized, but could include a range of uses such as office, retail, and/or restaurant uses. Two driveways are proposed; one full-access along Kings Point Road across from the southern Mackenthun’s development access and one-full access along Aster Lane across from Huckleberry Drive. A total of 49-parking spaces are proposed, as well as a drive-thru lane with approximately 200’ of vehicles stacking distance. The development is expected to be completed by the end of 2025.

Trip Generation

Trip generation estimates for the site, shown in Table 1, were created using the *ITE Trip Generation Manual, 11th Edition*. These estimates were developed to illustrate the range of potential site trip generation since specific tenants have not been identified at this time. Discussion with the project team indicates that the “strip retail plaza” ITE code best fits the proposed land use and desired tenant types. Thus, the proposed development is expected to generate on average 18 a.m. peak hour, 48 p.m. peak hour, and 440 daily trips; the a.m. and p.m. peak hours typically represent 7:30 to 8:30 a.m. and 4:30 to 5:30 p.m. At this level of trip generation, the proposed development is expected to generate more trips as compared to residential or office land uses, but less than if it were developed solely as a restaurant or a combination of fast-food/retail. *Note that no reductions for patrons walking or biking (i.e., multi-modal) were applied to provide a conservative estimate.*

Table 1 Trip Generation Summary

Land Use Type (ITE Code)	Dev. Size	AM Peak Hour		PM Peak Hour		Daily
		In	Out	In	Out	
Proposed Development						
Strip Retail Plaza (822)	5,000 SF	11	7	24	24	440
Other Potential Uses						
Multi-Family Housing (221)	20-units	2	5	5	3	92
Office (710)	5,000 SF	11	2	2	12	86
Restaurant (932)	5,000 SF	26	22	28	17	536
Fast-Food w/ Drive-Thru / Retail (934 / 822) *	5,000 SF	50	46	44	42	1,096

* Assumes 2,000 SF Fast-Food Restaurant / 3,000 SF Retail

Traffic Impacts

As noted earlier, the *Mackenthun’s Development Traffic Study* evaluated full build out of the overall Woodland Cove development, including development of Outlot F. The previous study identified the overall Woodland Cove development is generating trips at lower levels than previously estimated and that no operational issues along Kings Point Road are expected. Discussion with the project team also indicated that the proposed development uses will likely be tailored to serve existing area residents/motorists (i.e., pass-by/diverted-link trips), which would reduce the overall net change in trip generation from the proposed development on area roadways. Therefore, impacts of the proposed development are expected to be minimal and no significant intersection capacity issues are anticipated because of the proposed development.



February 21, 2024

Mr. Nickolas Olson
City Planner
City of Minnetrista
7701 County Road 110 West
Minnetrista, MN 55364

Re: Woodland Cove Commercial Development
Final Plat Review
ML Nos. 24002 & 24004

Dear Mr. Olson:

We have completed our review of the Final Plat application submittal for the proposed Woodland Cove Commercial Development/Woodland Cove 12th Addition project. The project involves grading, parking lot paving, storm sewer and stormwater BMP construction, watermain and sanitary sewer construction, and appurtenant work. The application materials were reviewed against the City's design requirements. The following items were submitted for review:

- Woodland Cove - Outlot F – Preliminary Plat Plan Set, Dated 1/25/2024
- Woodland Cove 12th Addition – Final Plat

The following review comments represent recommendations from an engineering standpoint appropriate for this Final Plat review.

General

1. The proposed improvements include construction of a new commercial building that could serve three businesses.
2. Access to the site is proposed from both Kings Point Road via Trunk Highway 7 and Aster Lane.
3. Additional redline comments can be found on the attached plan sheets. Not all redline comments are also contained in the memo.

Grading and Elevations

1. Provide Emergency Overflow elevations (EOFs) for all low points in the paved and green spaces.
 - a. Confirm freeboard requirements with adjacent building First Floor (FFE)/ Lowest Opening (LOE) Elevations.
2. Identify areas of 'tipout' curb and gutter.

Layout and Traffic

1. Expected trip generation for different land use types within the proposed site were compared to the planned use. The potential for a fast-food land use shows more trips than the planned use. Therefore, expected peak hour volume figures and additional analysis should be completed at the Kings Point Road intersections with TH 7 and Woodland Cove Boulevard using the fast-food with drive-thru/ retail land use assumption for the 2025 scenarios shown in the previous Mackenthun's traffic study.

2. Provide an exhibit showing that intersection sight distance requirements are met at the new site access along Kings Point Road.
3. Include existing/relocated light poles on Kings Point Road, Woodland Cove, and Aster Lane on the photometric plan.
4. Provide turning movements for anticipated garbage and delivery vehicles.

Sanitary Sewer and Watermain

1. Water and sanitary sewer shall be constructed in accordance with the City of Minnetrista General Specifications and Standard Detail Plates (<https://evogov.s3.us-west-2.amazonaws.com/29/media/363300.pdf>), and in accordance with the latest edition of CEAM.
2. Maintain the 8" water service through the hydrant lead tee
 - a. Install 8"x6" tee for hydrant lead with 8" to 4" reducer for building service.
3. Insulate when separation between water service and storm sewer is less than 36".
4. Provide castings for all cleanouts in impervious surfaces.
 - a. Note, paving and compaction may be difficult when cleanouts/castings are close to the concrete edge.
5. Show the utilities screened/greyed out on the landscape plan.
 - a. Appears to be potential conflict between the water service and proposed trees.
6. We recommend that the Fire Marshall review hydrant coverage and fire protection for the building with the building permit application.

Stormwater Management

1. Storm sewer and/or best management practices (BMPs) shall be constructed in accordance with the City of Minnetrista's General Specifications and Standard Detail Plates (2022), Surface Water Management Plan (2018), and Design Requirements (2009).
2. Update the label of CB 2 on the Utility Plan to "R-3067 CASTING."
3. Include storm sewer design computations. Storm sewer should be designed for the 5-yr event at a minimum, with minimum and maximum velocities of 3 and 10 fps respectively.
4. Provide inlet design flows, particularly for CB 2 and CBMH 1. Flow shall not exceed 3 cfs in the 10-year event.
5. Verify whether STMH 3 is proposed as a private or public structure.

It is recommended that comment #1 under Layout and Traffic be addressed prior to City Council consideration of the final plat. Please reach out with any questions regarding this review.

Sincerely,
WSB



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